

2012 SHERIDAN ENTRYWAY DESIGN STANDARDS AND GUIDELINES



MAY 2012





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INTRODUCTION

DOCUMENT GOALS - PURPOSE

1. Easy to use development standards and guidelines, comprehensive in document - no references to other documents.
2. Protect owners and occupants of building sites against such use of neighboring building sites as might depreciate property values.
3. Encourage the development of aesthetic site development and provide a harmonious development promoting the general welfare of owners and occupants.
4. Create flexibility in the guidelines allowing for creative and affordable design solutions in order to ensure full build-out of property.
5. These goals are intended to support the overall purpose of the Sheridan Entryway which is to create an area with redundant infrastructure necessary to attract businesses.

DOCUMENT GOALS - CHARACTER

These standards are intended to provide a framework for a compatible streetscape, site and landscape development for building sites within the Sheridan Entryway. These standards seek to:

1. Provide compatibility and consistency of site features and landscape in order to create a discernible character and harmonious whole for the Entryway.
2. Create a pleasant aesthetic environment for occupants, visitors and motorists along I-90 with an overall character.

PROCESS

STAKEHOLDER INTERVIEWS AND STAKEHOLDER WORKSHOP

These standards have been developed through a process of stakeholder interviews and workshops incorporating input from the City of Sheridan, local contractors, Boards and Commissions and property owners. The process began with a series of individual discussions and interviews from which feedback was incorporated into a content/diagnosis draft of the document. This material was then presented in a workshop format to the same set of stakeholders and reviewed to ensure it was achieving the overall objectives. Feedback from this workshop was then incorporated into a final draft of the document. The Sheridan Entryway Standards and Guidelines are available on-line at the City of Sheridan website - www.city-sheridan-wy.com/info/pwd-pd/index.php.

PURPOSE

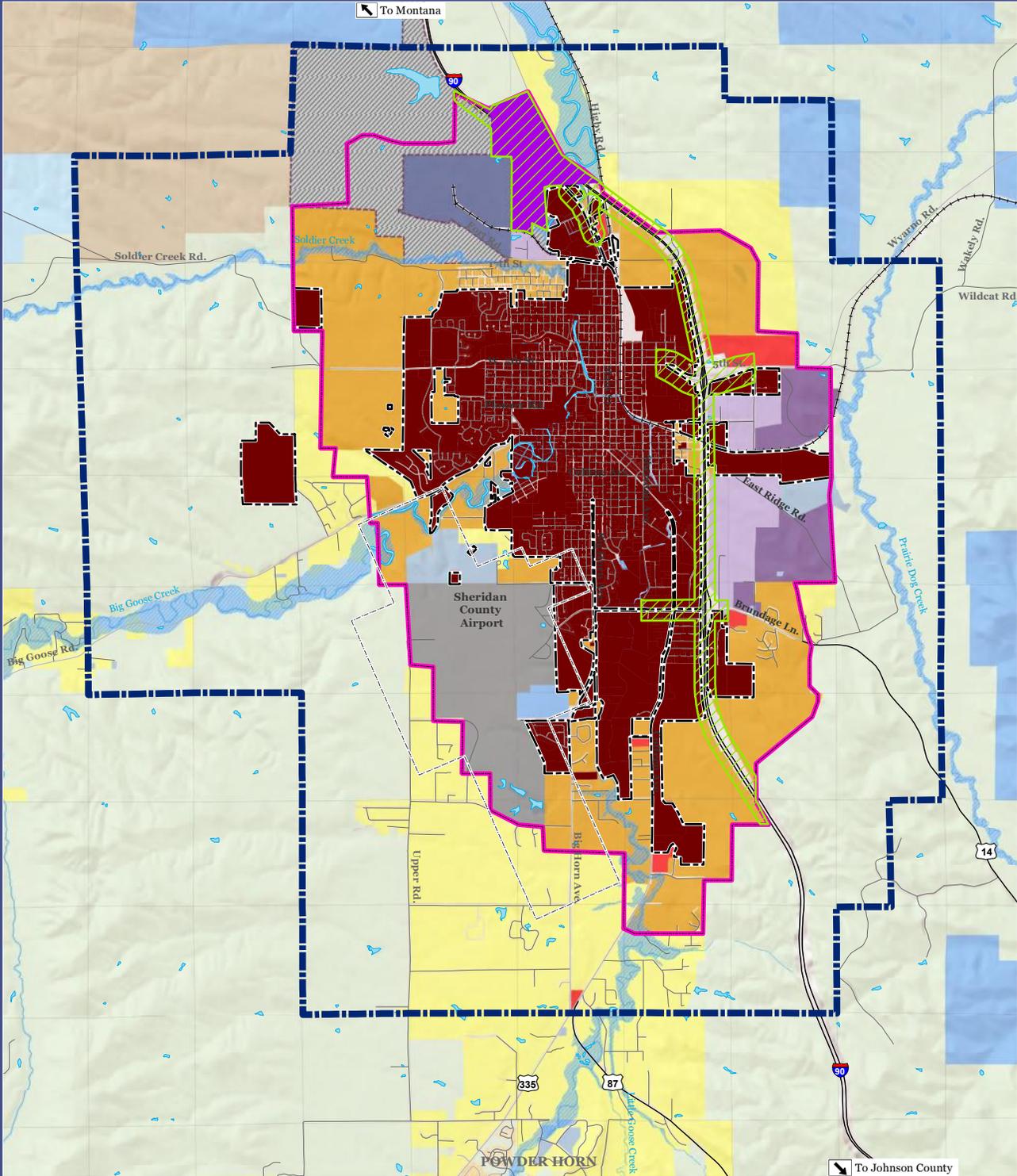
Consolidate Entryway Corridors, Junction Corridors, and Highway Corridors and tailor the new boundary to Sheridan's entryway experience.

STANDARDS SUMMARY

One set of "Entryway" standards; revised entryway boundary.

Entryway Corridors & Gateway District

Joint Planning Area Land Use Plan



Legend

- City of Sheridan
- Joint Planning Area Boundary
- Highways
- Streets
- Railroads
- Urban Service Area
- Airport Influence Area

Natural Features

- Stream/River
- 100-Year Floodplain
- Class 5 Groundwater Vulnerability Area
- Revised Entryway Corridor District
- Gateway District

Future Land Use

- Agricultural/Resource
- County Low Density Residential
- Urban Residential
- Commercial
- Light Industry / Business Park
- Heavy Industry
- Special Planning Area

Public and Semi-Public Lands

- Airport
- Public/Semi-Public
- State Lands
- Federal Lands
- BLM

Source: City of Sheridan, GIS, Sheridan County GIS, U.S. Census Bureau 2000 TIGER data, WY GIS Clearinghouse
 April 2009
CLARION

ADMINISTRATION

ADMINISTRATIVE REVIEW AND APPROVAL PROCESS

Procedures for Design Review in Gateway Districts. Prior to approval and issuance of a building permit, all new development and redevelopment of multi-family, commercial and industrial projects that meet the criteria for Substantial Improvement under the Zoning Ordinance shall be required to receive design approval as established in Appendix A §15, and as required by the design standards established for the Entryway and applicable master plans and planning documents adopted by the City.

DESIGN REQUIREMENTS FOR PROPERTIES WITHIN THE ENTRYWAY OR THE GATEWAY DISTRICT

PROCEDURE

For all development or redevelopment within the Entryway of multi-family, commercial, or industrial projects meeting the definition of substantial improvement under Appendix A §2, the following procedure shall apply for necessary building and site design approval prior to issuance of a building permit.

The applicant shall submit the following to the Planning Division office:

1. Description of proposed uses.
2. Site Plan (24"x36") Showing:
 - a. Location of buildings with the entries noted.
 - b. Dimensions of all setbacks, property lines, building footprints.
 - c. Location and dimensions of all driveways, parking areas, loading/service areas and walkways.
 - d. Site and building entry areas.
 - e. Location and type of outdoor storage or trash facilities.
 - f. Location and size of utilities and utility easements.
 - g. Any accessory appurtenances such as scales, satellite dishes, antenna, gas pumps, trash enclosures, etc.
 - h. Gross floor area of the development by use.
3. Grading Plan (24"x36") Showing:
 - a. Existing and proposed contours at 1' interval
 - b. Finished floor elevations at all building entries
 - c. Flow arrows indicating drainage directions along all swales and paved areas.
4. Landscape Plan (24"x36") showing:
 - a. Proposed planting including a tabular breakdown of planting beds, lawn area and other proposed ground covers.
 - b. Existing and proposed utilities and utility easements.
 - c. Irrigation strategy narrative describing system.
5. Building Floor Plans.
6. Color Rendered Building Elevations.
7. Notations on the types of materials to be used, mechanical systems, electrical systems, structural type and exterior colors.

GATEWAY DISTRICTS

Gateway Districts shall be subject to the design standards contained within the approved master plan for the property. Projects within Gateway Districts shall meet requirements of the Entryway, although the master plan may require a higher standard. In any case where the master plan is silent on a requirement, the requirement of the Entryway shall apply.

ALTERNATIVE COMPLIANCE

Upon request by an applicant, the Planning Commission may approve plans for properties within the Entryway that may be substituted in whole or in part for a plan meeting the standards of this Section.

PROCEDURE

Alternative plans shall be prepared and submitted in accordance with submittal requirements. Each such plan shall clearly identify and discuss the modifications and alternatives proposed and the ways in which the plan will better accomplish the purposes of this Section than would a plan which complies with the standards of this Section.

REVIEW CRITERIA

To approve an alternative plan, the Planning Commission must first find that the proposed alternative plan accomplishes the purposes of this Section equally well or better than would a plan which complies with the standards of this Section. Design guidelines from this document can be considered as a means to meet the alternative compliance criteria.

APPEAL

Any person aggrieved by city staff in the enforcement of the design requirements contained in this document may appeal to the Planning Commission by providing a written request to the Planning Division office within 30 days of receiving written notice of staff determination. The written appeal shall contain the staff determination, and indicate what relief is sought by the applicant. The Planning Commission shall hear the appeal at a regularly scheduled meeting. The Planning Commission may affirm, affirm in part, reverse, or reverse in part any staff determination pertaining to the design requirements. Any person aggrieved of a determination of the Planning Commission may appeal to the City Council by providing written notice to the City Clerk within 30 days of the final determination by the Planning Commission.

ZONING DEFINITIONS

COMMERCIAL

I-90 Frontage: An area which runs parallel to I-90 and which extends perpendicular on both sides of the Interstate from the centerline of the right-of-way of I-90 for a distance of 500 feet for all property within the City limits;

Brundage Lane, North Main Street and East Fifth Street Frontages. Those areas located adjacent to portions of Brundage Lane, North Main Street and Fifth Street more specifically defined as:

1. North Main Street frontage encompassing all parcels which are wholly or partially located within 500 feet of the centerline of North Main Street and located north of the centerline of West and East Seymour Street and south of the right-of-way line of I-90 and shall also include all parcels wholly or partially within 500 feet of the centerline of Decker Road located north of the intersection of Decker Road and North Main Street to the end of the City limits.
2. Fifth Street frontage encompassing all parcels which are wholly or partially located within 750 feet of the center of the right-of-way line of East Fifth Street and located east of the intersection of East Fifth Street and Saberton Street and west of the intersection of East Fifth Street and East Ridge Road.
3. Brundage Lane frontage encompassing all parcels which are wholly or partially located within 330 feet of the centerline of Brundage Lane or one block, whichever distance is less, and located west of the I-90 interchange and east of South Sheridan Avenue.

VIEWSHED

An area of land, water, or other environmental element that is visible to the human eye from a fixed vantage point. Viewsheds are areas of particular scenic or historic value that are deemed worthy of preservation against development or other change. Viewsheds are spaces that are readily visible from public areas such as from public roadways or public parks.

I-90 CORRIDOR BUFFERYARD

The area of land that runs parallel to Interstate Highway 90 (I-90) and which extends perpendicular on both sides of the roadway, and located in between the highway right-of-way and structures and/or developed lots, which includes a specified type and amount of landscape materials and/or screening devices intended to eliminate or minimize visual conflicts.

INDUSTRIAL

Uses engaged in the basic processing and manufacturing of materials or products predominately from extracted or raw materials, or a use engaged in storage of, or manufacturing processes using flammable or explosive materials, or storage or manufacturing processes that potentially involved hazardous conditions. Heavy industry shall also mean those uses engaged in the operation, parking and maintenance of vehicles, cleaning of equipment or work processes involving solvents, solid waste or sanitary waste transfer stations, recycling establishments, and transport terminals (truck terminals, public works yards, container storage).

LIGHT INDUSTRIAL

Uses engaged in the manufacture, predominantly from previously prepared materials, of finished products or parts, including processing, fabrication, assembly, treatment, packaging, incidental storage, sales or distribution of such products. Light industrial uses may include office space as part of the principle light industrial use, and shall not include uses such as mining and extracting industries, petrochemical industries, primary metal or related industries.

BUILDING AND SITE DESIGN REQUIREMENTS

The Entryway and Gateway District General Standards. The following design requirements shall apply to all new construction, or substantial improvement of, multi-family, commercial, light industrial or industrial projects within the Entryway as defined in Appendix A S2 or Gateway Districts as approved by the City Council and shown on the official zoning map.

1. Wireless Telecommunication Facilities and Equipment shall be allowed within the Entryway if stealth technology is employed to mitigate and/or camouflage visual impacts. Stealth technology consists of, but is not limited to, the use of grain silos or elevators, grain bins, church steeples, water towers, clock towers, bell towers, or similar “mimic” structures. Such “mimic” structure shall have a contextual relationship to the adjacent area.



Wireless tower that employs stealth technology



Typical wireless tower

2. Historic Preservation. Structures listed on the National Register of Historic Places or a State Inventory of Historic Places shall be retained to the maximum extent feasible.



Historic preservation of buildings



Historic preservation of buildings

I-90 CORRIDOR BUFFERYARD STANDARDS

PURPOSE AND INTENT

The I-90 Corridor bufferyard standards are set forth to:

1. Integrate a more natural landscape screen that will create a distinctive character along Sheridan’s I-90 entry corridors and soften the appearance of development; and
2. Use trees, shrubs, and/or other landscape architectural elements to obscure the views of loading docks, industrial uses, service areas, and outside storage of material stocks or equipment along the corridor.

APPLICABILITY

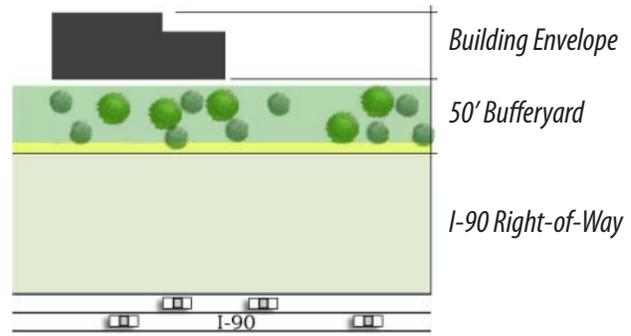
This section shall apply to all properties fronting I-90 and are required in addition to all Entryway standards of this section.

STANDARDS

1. Minimum Width.
 - a. Minimum width of the bufferyard area shall be fifty (50) feet as measured from the I-90 right-of-way.
2. Use of Existing Native Vegetation.
 - a. Buffers require provision of both physical separation and landscape elements to meet the intent of this Section. Existing native vegetation may be used after approval from the Planning Division to meet all or part of the requirements, if it provides the same level of opacity as the planted buffers required below. Vegetation to be saved shall be located and identified by a physical survey and shown on site plans along with protection measures to be used during grading and construction.
3. Planted Vegetation
 - a. Required planting allow for a mix of prairie grasses, larger shade trees, evergreens, under story trees/large shrubs, and smaller shrubs to provide a naturalized planting that protects the open foreground from the roadway yet screens conditions of the site. Clustered evergreens are added to buffers to provide a more opaque screen, as well as a more natural appearance to the buffer. In calculating buffer planting requirements, areas of driveways and sight distance triangles are excluded.

THE FOLLOWING STANDARDS AND CRITERIA SHALL APPLY TO PLANTED VEGETATION AND INSTALLATION

1. **Quality.** All trees and shrubs installed in conformance with this section shall have well-developed leaders and tops, roots characteristic of the species and shall show evidence of proper pruning. All plant materials shall be free of insects, diseases or mechanical injury.
2. **Coverage.** Grass, ground cover or other living landscape material shall be used to cover all open ground. Mulch, bark or other landscaping materials may be incorporated in the landscape plan where the use of prairie grasses is not required.
3. **Maintenance.** The applicant is required to guarantee the plants for one (1) year or they must be replaced by the owner. Property owner shall maintain all trees and vegetation planted in accordance with this section.
4. **Shrubs and Hedge Specifications.** Shrubs shall be a minimum of eighteen (18) inches in height when measured immediately upon planting. Where installed, hedges shall be planted so as to form a continuous, solid visual screen which will be at least three (3) feet high within one (1) year of planting.
5. **Tree Specifications.** Trees referred to in this Section shall be of a species common to or adapted to the local climate and soil conditions. The selection of trees should take into consideration the ease of maintenance, tolerance of local conditions and availability from area nurseries. Caliper measurements shall be taken six (6) inches above grade. Trees shall meet the following minimum standards:
 - a. Canopy trees shall be deciduous trees that have a minimum height of thirty (30) feet at maturity. All canopy trees shall have a caliper width of two (2) inches at time of planting.
 - b. Evergreen or conifer trees shall have a minimum height of twenty (20) feet at maturity. All evergreen trees shall be planted in clusters of three (3) or more and must touch together at 70% mature growth. All evergreens must be at least four (4) feet high at time of planting.
6. **Plant Quantities.** The following buffer area, planting and/or other structural screen are required per one hundred (100) linear feet of frontage along I-90:
 - a. Native prairie grasses for the first 15 feet of the bufferyard, as measured from the highway right-of-way.
 - b. Four (4) canopy trees, and
 - c. Four (4) understory trees, and
 - d. Five (5) evergreen trees, and
 - e. Twenty (20) shrubs.
7. **Fences and Walls.** Landscaping may be supplemented by opaque fencing and/or walls, composed of ground face block, brick, stone, steel or similar weather resistant material, which may count for up to 50% of the I-90 bufferyard requirement.



PURPOSE AND INTENT

THE SITE LAYOUT STANDARDS ARE SET FORTH TO:

1. Promote a streetscape quality that minimizes visual clutter and emphasizes landscaping and building street presence.
2. Provide clear and well organized site circulation with well defined entry points, efficient pedestrian circulation and well organized parking lot design where visual relief is provided within parking lots and as they are viewed from public roads.
3. Emphasize clear separation of land uses and allow for visual screening along lot lines so as to protect property values and minimize visual intrusion between adjacent lots.

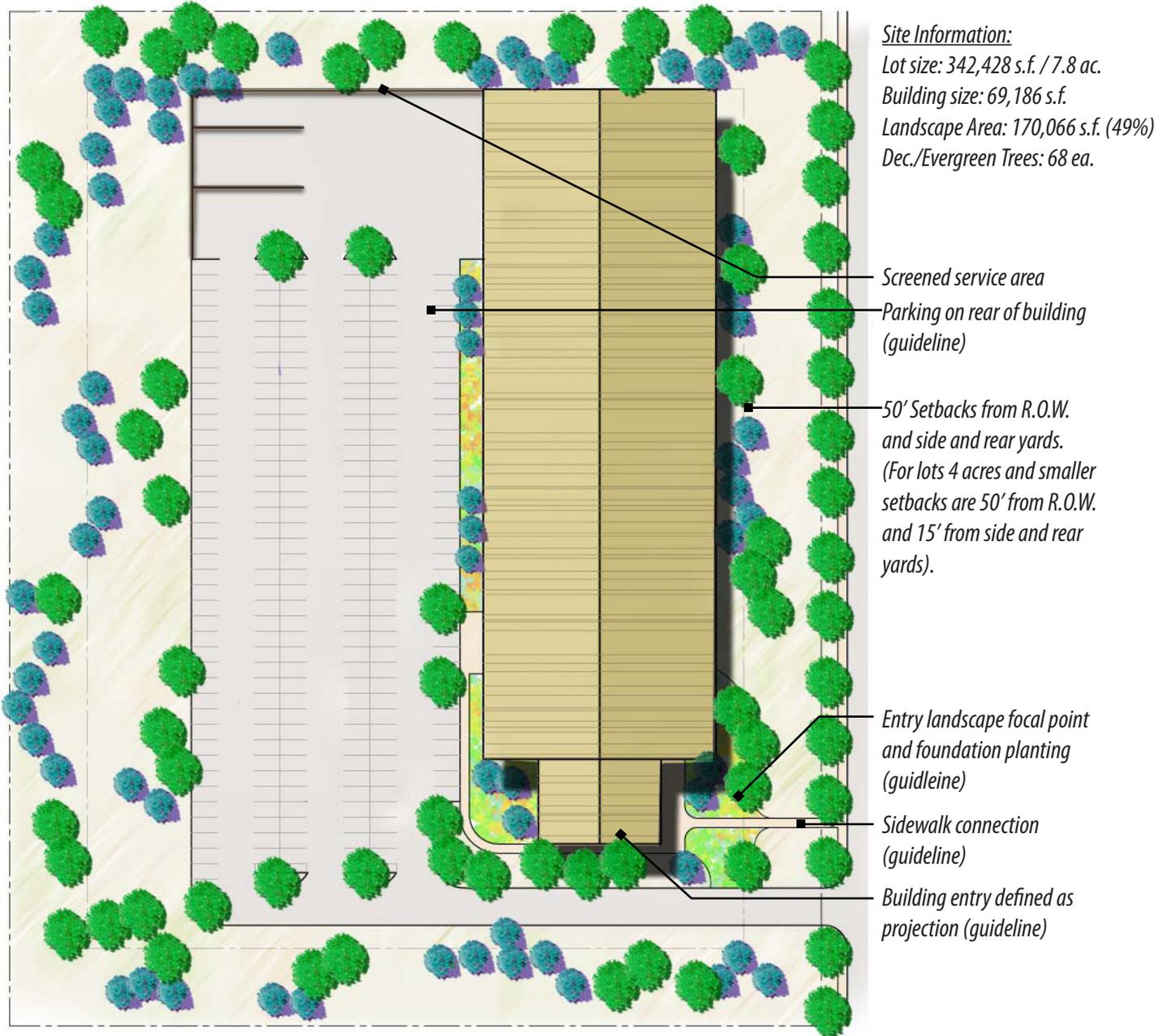
APPLICABILITY

This section shall apply to Industrial, Light Industrial, Commercial and Multi-family buildings within the Entryway.

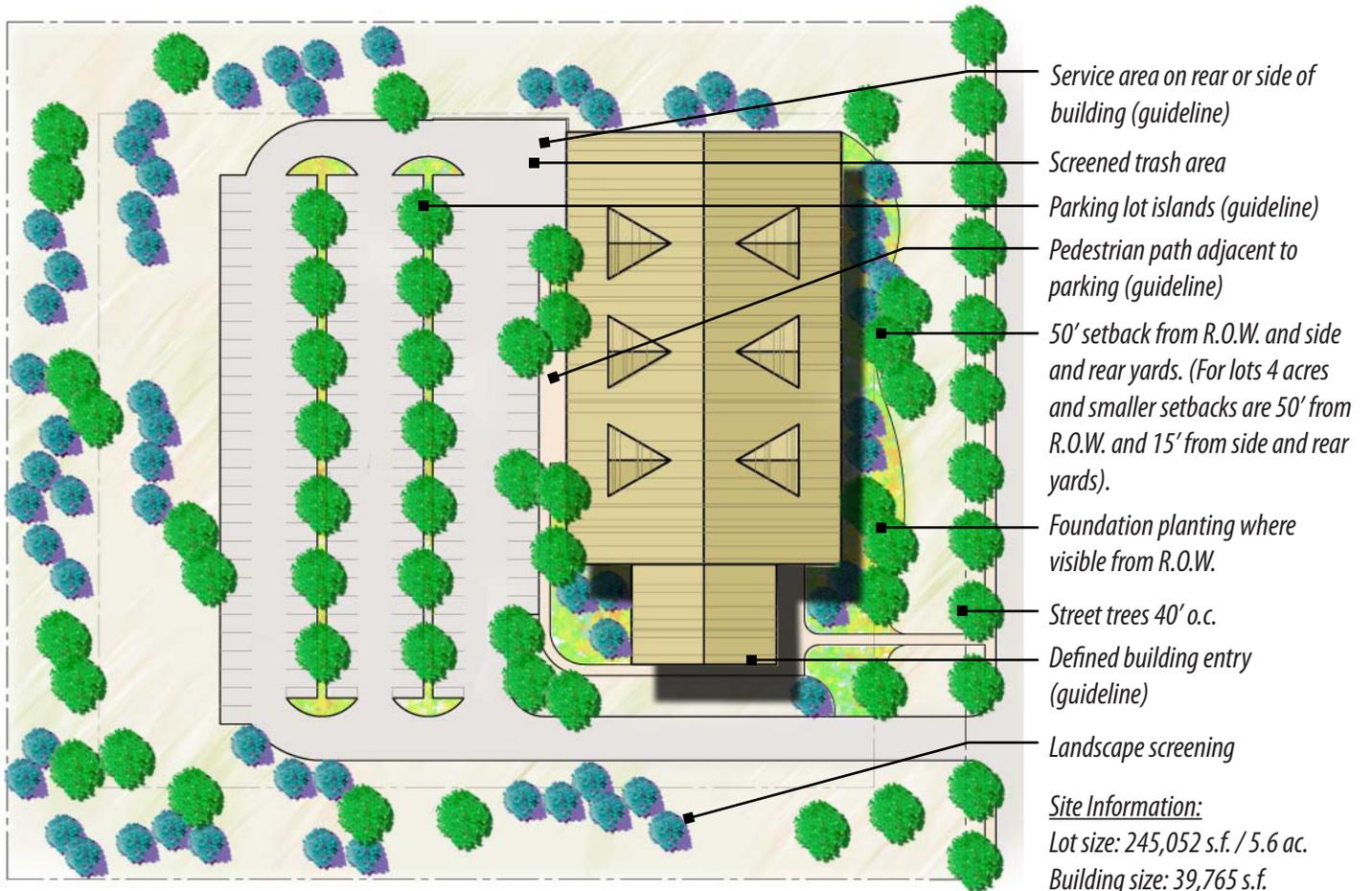
PROTOTYPES

The following prototyps are intended to illustrate an application of the design standards to clearly show how the primary standards are interdependent and combine to achieve the overall project goals.

INDUSTRIAL PROTOTYPE



LIGHT INDUSTRIAL PROTOTYPE



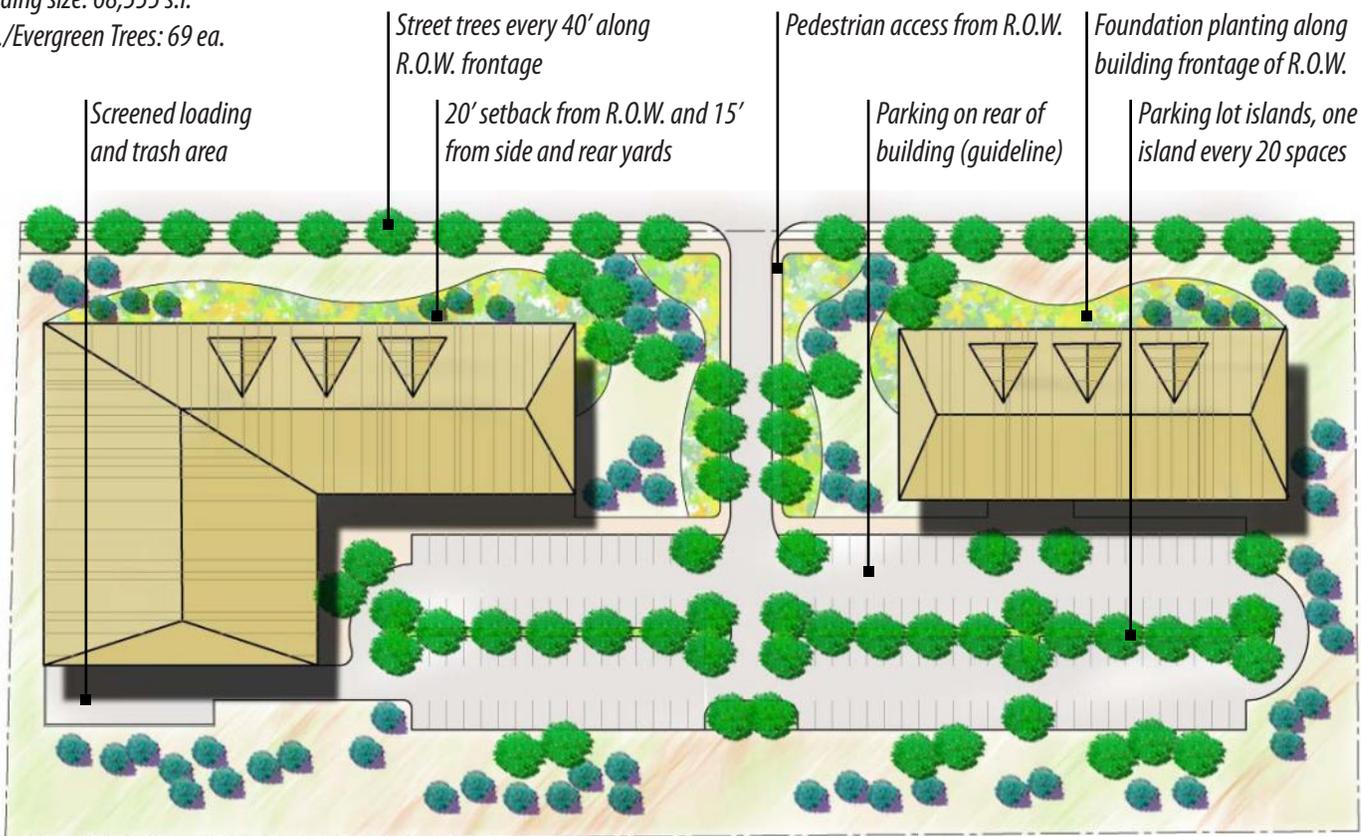
COMMERCIAL PROTOTYPE

Site Information:

Lot size: 277,000 s.f.

Building size: 68,555 s.f.

Dec./Evergreen Trees: 69 ea.

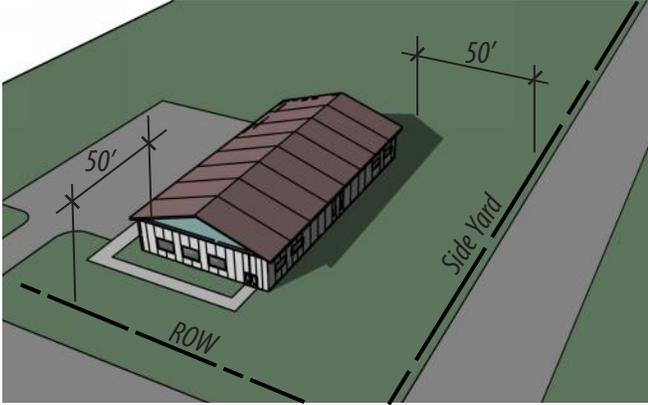


STANDARDS

INDUSTRIAL USES STANDARDS

Industrial site layout standards emphasize screening of undesirable site components and landscaping as a buffer from public view along roadways. The following standards and criteria shall apply to industrial site layout:

1. **Setbacks.** Minimum setbacks shall be 50' from ROW, and 50' from rear and side yards for lots over 4 acres. Minimum setbacks shall be 50' from ROW, and 15' from rear and side yards for lots 4 acres and smaller. Underground improvements such as storage tanks and vaults are permissible within setback areas.



Industrial Setbacks for lots larger than 4 acres



Industrial Setbacks for lots 4 acres and smaller

2. **Screening.** Screening in the form of landscaping or fences/walls shall be provided so as to screen all service areas, trash enclosures, and storage entirely from views along public ROW.
 - a. **Screening Fences/Walls** – Fencing or walls used for screening shall be constructed of opaque materials including cedar, metal, vinyl, concrete block or other materials like or similar to those used in building
 - b. **Landscaping Screening** – Landscaping screening shall be evergreen, minimum 6' height when installed and spaced so that canopies meet at 70% of mature size.



Industrial area with no landscape screening



Industrial landscape screening

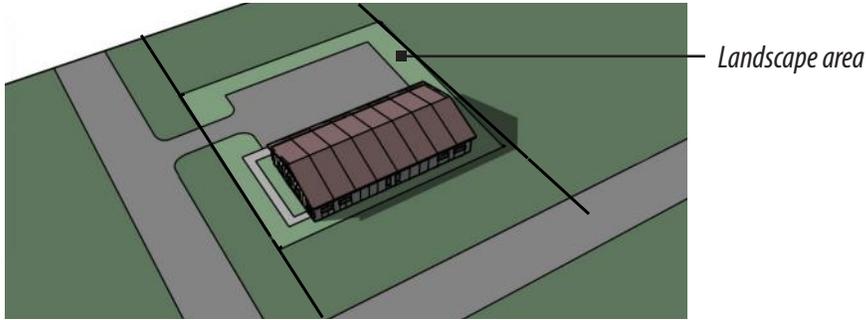


Example of street tree planting

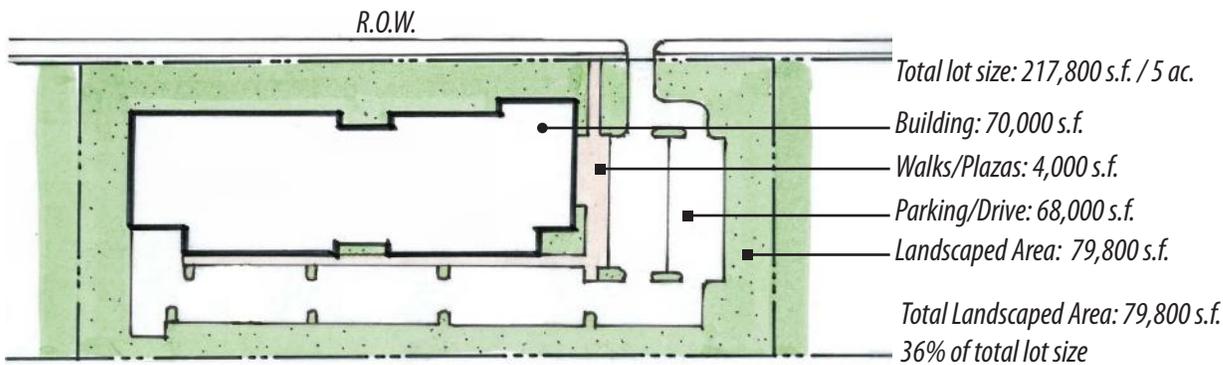


Example of street tree planting

3. Street Trees. Street trees shall be provided at 40' o.c. spacing along all public ROW frontage.
4. Landscaped area. Landscaped areas shall be provided at a minimum of 20% of the total lot area. All unpaved areas shall be landscaped with sod, seeded native grasses, or shrub beds with cobble or organic mulch. Shrub beds shall include a minimum of 50% of live plant material in total area when plants are at 70% of mature size.



Industrial landscape area



Example Plan

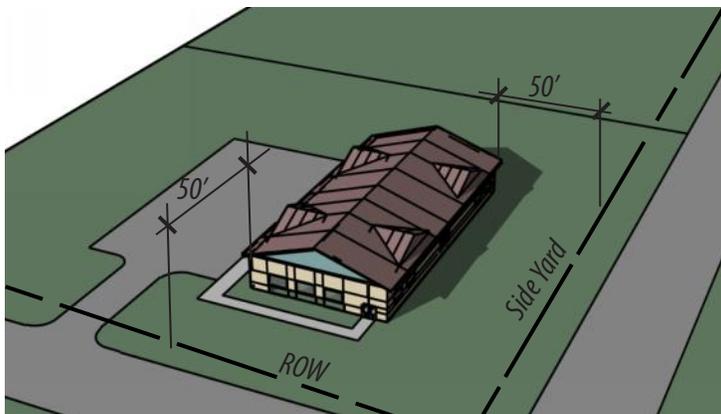
5. Trees. One deciduous tree shall be provided for every 5,000 sf of total lot area; one evergreen tree shall be provided for every 5,000 sf of total lot area.
6. Irrigation. All landscaped areas shall be irrigated using drip, rotors or spray irrigation for establishment purposes at a minimum.
7. Maintenance. Landscapes are to be maintained to a neat, clean, healthy condition free from debris and trash. This shall include all requirements for pruning, weeding, mowing, trash removal. Replacement of dead plant material is the property owner or tenant's responsibility. All shrub beds shall be maintained to a weed free condition. Seeded native grasses shall not exceed 6" in height mown or otherwise.

LIGHT INDUSTRIAL USES STANDARDS

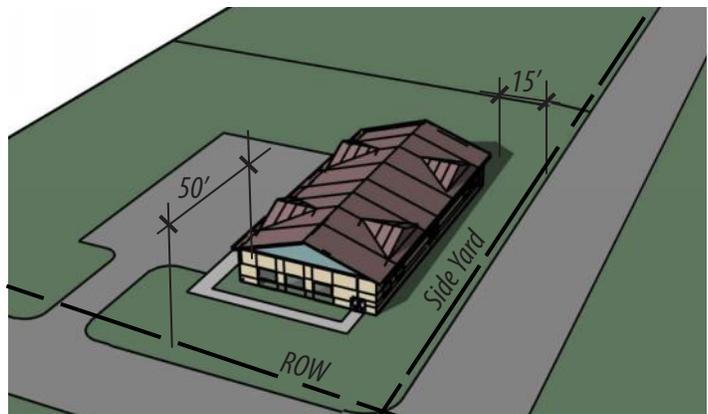
Industrial site layout standards emphasize screening of undesirable site components and landscaping as a buffer from public view along roadways.

The following standards and criteria shall apply to Light Industrial site layout.

1. Setbacks. Minimum setbacks shall be 50' from ROW, and 50' from rear and side yards for lots over 4 acres. Minimum setbacks shall be 50' from ROW, and 15' from rear and side yards for lots 4 acres and smaller.. Underground improvements such as storage tanks and vaults are permissible within setback areas.



Light Industrial Setbacks for lots larger than 4 acres



Light Industrial Setbacks for lots 4 acres and smaller

2. Screening. Screening in the form of landscaping or fences/walls shall be provided so as to screen all service areas, trash enclosures, and storage entirely from views along public ROW.



Example of no planting for Light Industrial

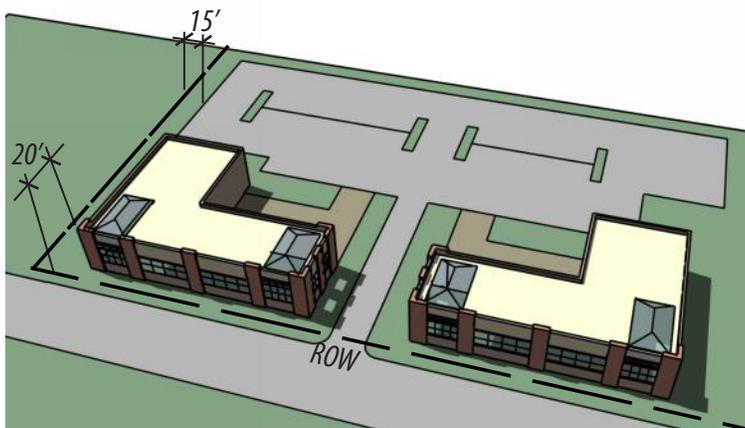


Foundation planting for Light Industrial

- a. Screening Fences/Walls. Fencing or walls used for screening shall be constructed of opaque materials including cedar, metal, vinyl, concrete block or other materials like or similar to those used in building
- b. Landscaping Screening. Landscaping screening shall be evergreen, minimum 6' height when installed and spaced so that canopies meet at 70% of mature size.
3. Street Trees. Street trees shall be provided at 40' o.c. spacing along all public ROW frontage.
4. Landscaped Area. Landscaped areas shall be provided at a minimum of 20% of the total lot area. All unpaved areas shall be landscaped with sod, seeded native grasses, or shrub beds with cobble or organic mulch. Shrub beds shall include a minimum of 50% of live plant material in total area when plants are at 70% of mature size.
5. Foundation Planting. Foundation shrub bed planting shall be provided at a minimum of 12' width from all building faces visible from public ROW.
6. Trees. One deciduous tree shall be provided for every 4,000 sf of total lot area; one evergreen tree shall be provided for every 4,000 sf of total lot area.
7. Irrigation. All landscaped areas shall be irrigated using drip, rotors or spray irrigation for establishment purposes at a minimum.
8. Maintenance. Landscapes are to be maintained to a neat, clean, healthy condition free from debris and trash. This shall include all requirements for pruning, weeding, mowing, trash removal. Replacement of dead plant material is the property owner or tenant's responsibility. All shrub beds shall be maintained to a weed free condition. Seeded native grasses shall not exceed 6" in height mown or otherwise.

COMMERCIAL USES STANDARDS

Commercial site layout standards emphasize a quality streetscape with building street presence, landscaping that contributes to the streetscape quality and clear, well organized circulation.



Commercial setbacks

The following standards and criteria shall apply to Commercial site layout.

1. Setbacks. Minimum setbacks shall be 20' from ROW, and 15' from rear and side yards. Underground improvements such as storage tanks and vaults are permissible within setback areas.
2. Screening. Screening in the form of landscaping or fences/walls shall be provided so as to screen all service areas, trash enclosures, and storage entirely from views along public ROW.
 - a. Screening Fences/Walls. Fencing or walls used for screening shall be constructed of opaque materials including cedar, metal, vinyl, concrete block or other materials like or similar to those used in building
 - b. Landscaping Screening. Landscaping screening shall be evergreen, minimum 6' height when installed and spaced so that canopies meet at 70% of mature size.

3. **Parking Lot Screening.** Parking lots shall be screened from view from all public ROW frontage through the use of landform or plant material at a minimum of 3' height along the continuous length of parking lot.
4. **Parking Lot Islands.** Parking lot islands shall be provided to break up continuous lots at a minimum of one island per 20 spaces. All parking lot islands shall be landscaped, and include a minimum of one canopy tree.



Parking lot screening



Parking lot screening



Parking lot islands

5. **Pedestrian Walkways.** Pedestrian walkways shall be provided to create a direct connection to primary building entries from parking and from primary building entries to ROW sidewalk.
6. **Street Trees.** Street trees shall be provided at 40' o.c. spacing along all public ROW frontage.
7. **Landscaped area.** Landscaped areas shall be provided at a minimum of 20% of the total lot area. All unpaved areas shall be landscaped with sod, seeded native grasses, or shrub beds with cobble or organic mulch. Shrub beds shall include a minimum of 50% of live plant material in total area when plants are at 70% of mature size.
8. **Foundation Planting.** Foundation shrub bed planting shall be provided at a minimum of 12' width from all building faces visible from public ROW.
9. **Trees.** One deciduous tree shall be provided for every 4000 sf of total lot area; one evergreen tree shall be provided for every 4000 sf of total lot area.
10. **Irrigation.** All landscaped areas shall be irrigated using drip, rotors or spray irrigation for establishment purposes at a minimum.
11. **Maintenance.** Landscapes are to be maintained to a neat, clean, healthy condition free from debris and trash. This shall include all requirements for pruning, weeding, mowing, trash removal. Replacement of dead plant material is the property owner or tenant's responsibility. All shrub beds shall be maintained to a weed free condition. Seeded native grasses shall not exceed 6" in height mown or otherwise.

MULTI-FAMILY USES

Multi-Family site layout standards emphasize a quality streetscape with building street presence, landscaping that contributes to the streetscape quality and clear, well organized circulation.

The following standards and criteria shall apply to Multi-Family site layout.

1. **Setbacks.** Minimum setbacks shall be 20' from ROW, and 15' from rear and side yards. Underground improvements such as storage tanks and vaults are permissible within setback areas.
2. **Screening.** Screening in the form of landscaping or fences/walls shall be provided so as to screen all trash enclosures, and storage entirely from views along public ROW.
 - a. **Screening Fences/Walls.** Fencing or walls used for screening shall be constructed of opaque materials including cedar, metal, vinyl, concrete block or other materials like or similar to those used in building
 - b. **Landscaping Screening.** Landscaping screening shall be evergreen, minimum 6' height when installed and spaced so that canopies meet at 70% of mature size.
3. **Parking Lot Screening.** Parking lots shall be screened from view from all public ROW frontage through the use of landform or plant material at a minimum of 3' height along the continuous length of parking lot.
4. **Parking Lot Islands.** Parking lot islands shall be provided to break up continuous lots at a minimum of one island per 20 spaces. All parking lot islands shall be landscaped, and include a minimum of one canopy tree.
5. **Pedestrian Walkways.** Pedestrian walkways shall be provided to create a direct connection to primary building entries from parking and from primary building entries to ROW sidewalk.
6. **Street Trees.** Street trees shall be provided at 40' o.c. spacing along all public ROW frontage.
7. **Landscaped area.** Landscaped areas shall be provided at a minimum of 20% of the total lot area. All unpaved areas shall be landscaped with sod, seeded native grasses, or shrub beds with cobble or organic mulch. Shrub beds shall include a minimum of 50% of live plant

material in total area when plants are at 70% of mature size.

8. Foundation Planting. Foundation shrub bed planting shall be provided at a minimum of 12' width from all building faces visible from public ROW.
9. Trees. One deciduous tree shall be provided for every 4000 sf of total lot area; one evergreen tree shall be provided for every 4000 sf of total lot area.
10. Irrigation. All landscaped areas shall be irrigated using drip, rotors or spray irrigation for establishment purposes at a minimum.
11. Maintenance. Landscapes are to be maintained to a neat, clean, healthy condition free from debris and trash. This shall include all requirements for pruning, weeding, mowing, trash removal. Replacement of dead plant material is the property owner or tenant's responsibility. All shrub beds shall be maintained to a weed free condition. Seeded native grasses shall not exceed 6" in height mown or otherwise.

BUILDING MASSING AND FORM STANDARDS

PURPOSE AND INTENT

The Building Massing and Form standards are set forth to:

1. Promote building massing and form along the I-90 corridor and primary entry roads from I-90 that contributes to the community architectural identity, streetscape quality, and human scale of the entryway experience.
2. Provide a basic direction for the design of buildings and appurtenances to ensure that structures built without the assistance of an Architect or design professional achieve the objectives outlined above.
3. Promote architectural design that clearly defines and differentiates roof planes from wall planes, creates clear fenestration patterns, projections and shadow lines at intersection of roof/wall planes while providing a basic level of variety and interest and avoiding large, monotonous buildings.

APPLICABILITY

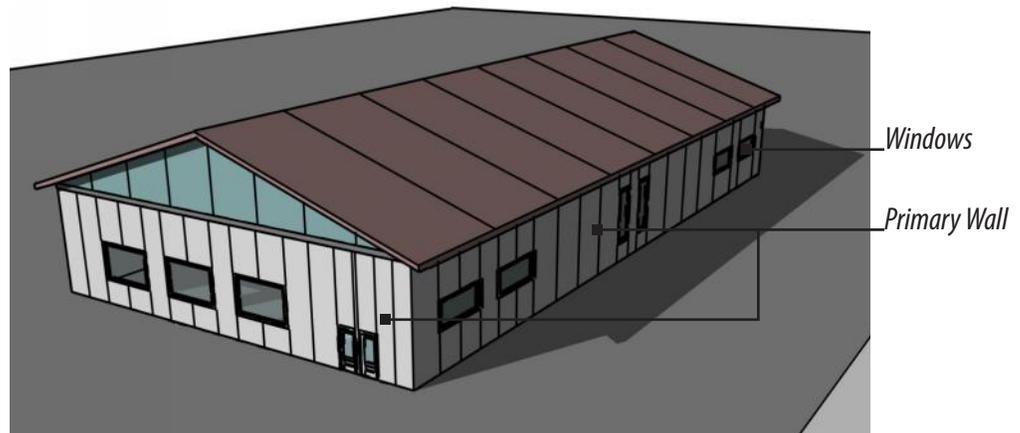
This section shall apply to Industrial, Light Industrial and Commercial buildings within the Entryway.

STANDARDS

INDUSTRIAL USES BUILDING STANDARDS

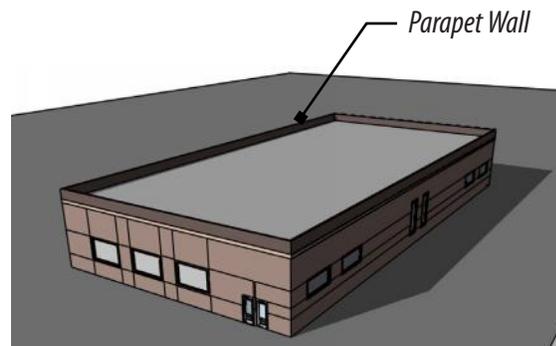
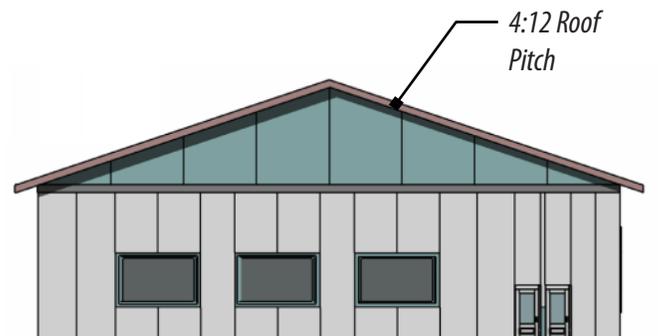
Industrial building standards allow for a variety of building types including prefabricated metal buildings. The basic, functional and clearly defined forms of historic industrial buildings in Sheridan and throughout Wyoming have been used as a basis for the Industrial building standards. The following standards and criteria shall apply to industrial buildings and structures.

1. Building Components. Building components shall include roof, fascia or parapet wall, walls, windows and trim at a minimum on all structures.
2. Fenestration. Windows shall comprise a minimum of 15% of each wall face on a minimum of two primary building walls.



Example fenestration for industrial building

3. Roof Pitch. Minimum roof pitch on all sloping roof structures shall be 4:12. Flat roofs are acceptable and shall include a parapet wall with a minimum height of three feet from the roof plane.



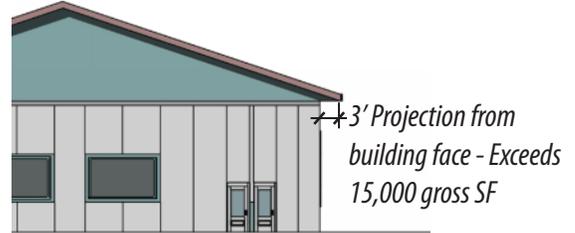
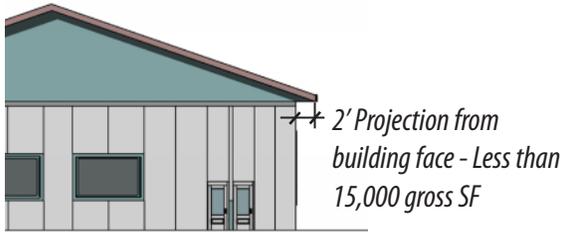
- Eaves and Soffits. Eaves or soffits shall be provided on all pitched roof structures. Eaves or soffits shall be provided at a minimum of 3' projection from the face of the attached wall plane where gross building square footage exceeds 15,000 square feet. Where gross building square footage is less than 15,000 square feet, eaves or soffits shall be provided at a minimum of 2' projection from the face of the attached wall plane.



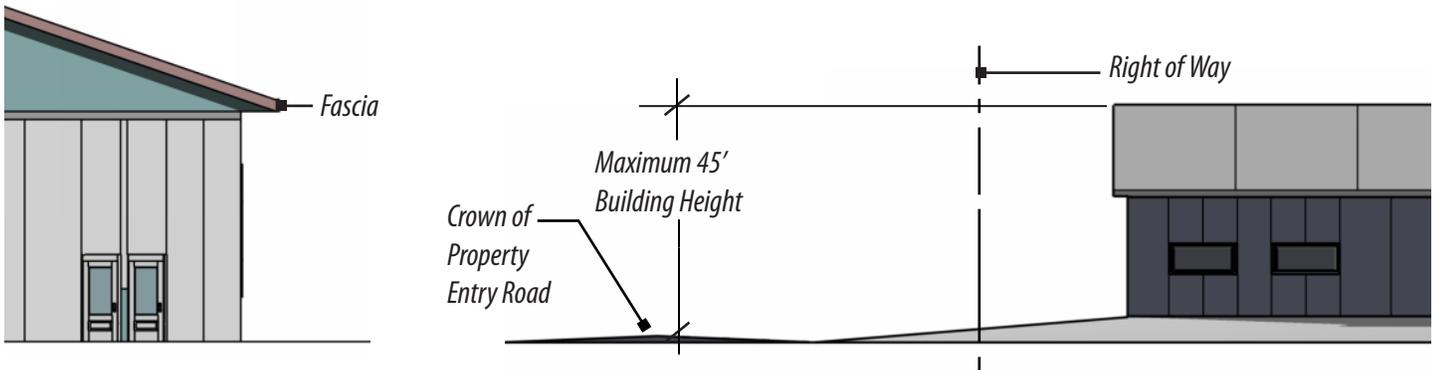
Industrial building lacking eaves or soffits



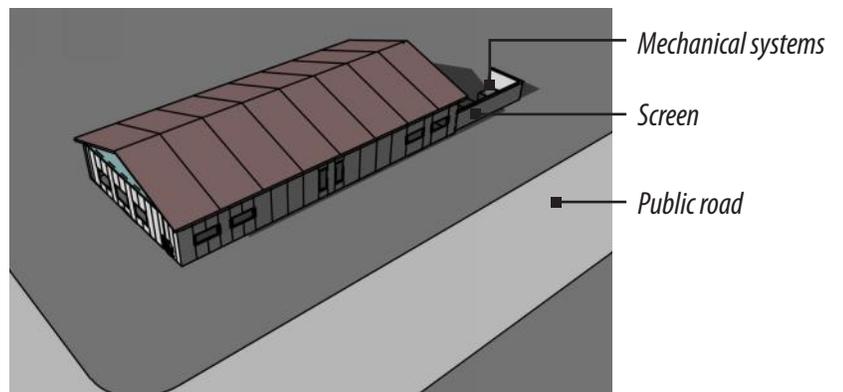
Industrial building with eaves and soffits



- Fascia. A fascia shall be provided at the termination of all pitched roof planes and gable ends. The fascia height shall be a minimum of 8 inches. Gutters or other drainage appurtenances may be fastened to the fascia.
- Building Height. Building height as measured from the crown of property entry road at the intersection of the Right of Way shall not exceed 45' to highest point of structure.



- Mechanical Systems. Mechanical systems shall be screened from view or located in areas not visible from public roads. Rooftop mechanical systems are not acceptable unless screened from view architecturally. Mechanical systems located in publicly visible areas including parking lots or roadways shall be screened with enclosures constructed of materials like or similar to those used on the building.

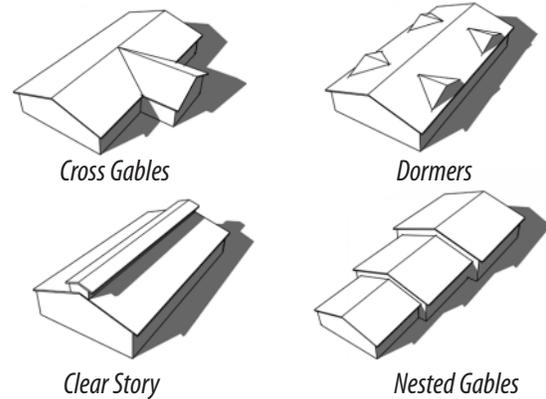
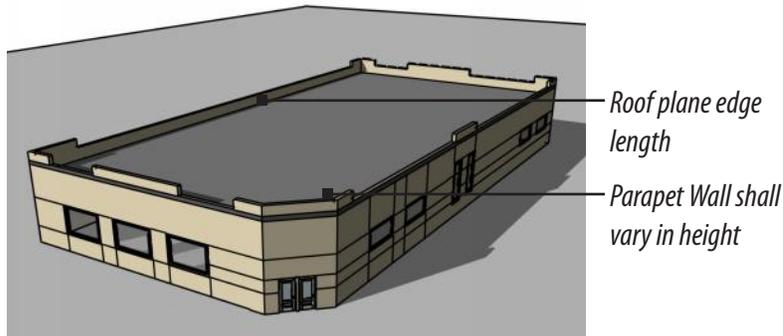
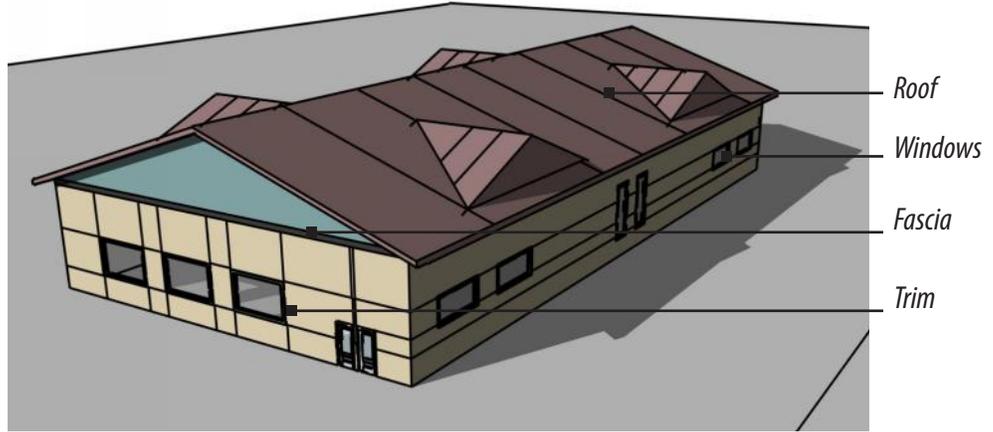


LIGHT INDUSTRIAL USES BUILDING STANDARDS

Light Industrial building standards allow for a variety of building types including prefabricated metal buildings. The basic, functional and clearly defined forms of historic industrial buildings in Sheridan and throughout Wyoming have been used as a basis for the Light Industrial building standards. These standards deviate from the Industrial building standards in the provision of roof plane variation.

The following standards and criteria shall apply to Light Industrial buildings.

1. Building Components. Building components shall include roof, fascia or parapet wall, walls, windows and trim at a minimum on all structures.
2. Fenestration. Windows shall comprise a minimum of 15% of each wall face on a minimum of two primary building walls.
3. Roof Pitch. Minimum roof pitch on all sloping roof structures shall be 4:12. Flat roofs are acceptable and shall include a parapet wall with a minimum height of three feet from the roof plane.
4. Roof Plane Variation. Roof plane variation shall be provided where continuous roof planes exceed 50 feet.
 - a. Cross gables, dormers, clear story roofs, nested gables or roof plane breaks are all acceptable types of roof plane variation.
 - b. Parapet walls shall exceed parapet height a minimum of 1 additional foot for 30% of total roof plane perimeter.
 - c. Pitched roof planes exceeding 50' shall incorporate either a minimum of 1 cross gable or continuous clear story; **or** 1 dormer or nested gable per 50' of total roof plane length.



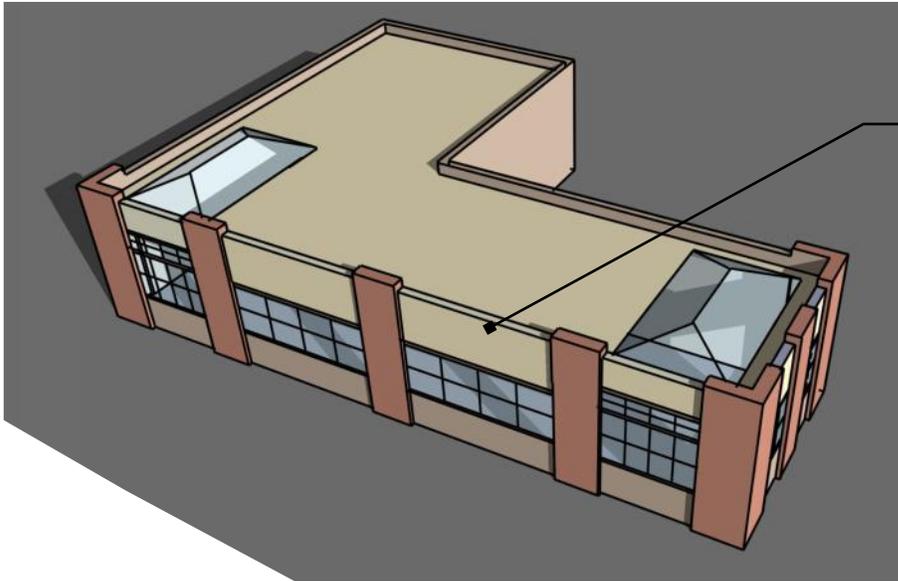
5. Eaves and Soffits. Eaves or soffits shall be provided on all pitched roof structures. Eaves or soffits shall be provided at a minimum of 3' projection from the face of the attached wall plane where gross building square footage exceeds 15,000 square feet. Where gross building square footage is less than 15,000 square feet, eaves or soffits shall be provided at a minimum of 2' projection from the face of the attached wall plane.
6. Fascia. A fascia shall be provided at the termination of all pitched roof planes. The fascia height shall be a minimum of 8 inches. Gutters or other drainage appurtenances may be fastened to the fascia.
7. Building Height. Building height as measured from the crown of property entry road at the intersection of the Right of Way shall not exceed 45' to highest point of structure.
8. Mechanical Systems. Mechanical systems shall be screened from view or located in areas not visible from public roads. Rooftop mechanical systems are not acceptable unless screened from view architecturally. Mechanical systems located in publicly visible areas including parking lots or roadways shall be screened with enclosures constructed of materials like or similar to those used on the building.

COMMERCIAL USES BUILDING STANDARDS

Commercial building standards allow for non-prefabricated building types and may be constructed with a variety of materials. These structures are intended to help create a streetscape character with variety, interest and clearly defined building entry points.

The following standards and criteria shall apply to Commercial buildings.

1. **Building Components.** Building components shall include roof, fascia or parapet wall, walls, windows and trim at a minimum on all structures.
2. **Fenestration.** Windows shall comprise a minimum of 20% of each wall face on all primary building walls.
3. **Roof Pitch.** Minimum roof pitch on all sloping roof structures shall be 4:12. Flat roofs are acceptable and shall include a parapet wall with a minimum height of three feet from the roof plane.
4. **Wall Plane variation.** Wall plane variation along all building walls and faces shall be provided using at least 3 different material types and 3 different colors including roof, walls and window trim and/or casing/mullions. Variation shall be provided along building walls so that no more than 20% of any building wall is of one continuous material.



Material variation along all building wall faces

5. **Materials.** Acceptable materials for buildings include the following:
 - a. **Pitched Roofs.** Composite shingles, concrete shakes, standing seam metal, rolled metal, tile.
 - b. **Windows.** Glass, transparent, mirrored or tinted. Aluminum, wood or vinyl casings are acceptable.
 - c. **Walls.** Steel, aluminum, concrete, vinyl or wood siding; concrete block, cultured stone, stone, stucco/EIFS, standing seam metal, brick, precast concrete.
6. **Roof Plane Variation.** Roof plane variation shall be provided where continuous roof planes exceed 50 feet.
 - a. Cross gables, dormers, clear story roofs, nested gables or roof plane breaks are all acceptable means of roof plane variation.
 - b. Parapet walls shall exceed parapet height a minimum of 1 additional foot for 30% of total roof plane perimeter.
 - c. Pitched roof planes exceeding 50' shall incorporate either a minimum of 1 cross gable or continuous clear story; **or**, 1 dormer or nested gable per 50' of total roof plane length.
7. **Building Entry Definition.** Primary building entries shall be clearly defined through the following:
 - a. The primary building entry area shall be a minimum of 15 feet in width.
 - b. Building entry areas may be defined as projections; or building entries may be defined with recesses a minimum of 1' in depth.
 - c. A combination of windows and doorways shall comprise at least 50% of the building entry area.
 - d. A pedestrian entry plaza or courtyard shall be provided with a total area of a minimum of 10' by 10'.
8. **Eaves and Soffits.** Eaves or soffits shall be provided on all pitched roof structures. Eaves or soffits shall be provided at a minimum of 3' projection from the face of the attached wall plane where gross building square footage exceeds 15,000 square feet. Where gross building square footage is less than 15,000 square feet, eaves or soffits shall be provided at a minimum of 2' projection from the face of the attached wall plane.
9. **Fascia.** A fascia shall be provided at the termination of all pitched roof planes. The fascia height shall be a minimum of 8 inches. Gutters or other drainage appurtenances may be fastened to the fascia.
10. **Building Height.** Building height as measured from the crown of property entry road at the intersection of the Right of Way shall not exceed 45' to highest point of structure.
11. **Mechanical Systems.** Mechanical systems shall be screened from view or located in areas not visible from public roads. Rooftop

mechanical systems are not acceptable unless screened from view architecturally. Mechanical systems located in publicly visible areas including parking lots or roadways shall be screened with enclosures constructed of materials like or similar to those used on the building.



Building entry defined as projection

Glass shall be used on 50% of entry doors and windows

STEEP SLOPE STANDARDS

PURPOSE AND INTENT

The steep slope standards are set forth to accomplish the following objectives:

1. Reduce damage to streams and rivers from the erosion and sedimentation caused from development on steep slopes;
2. Preserve scenic character;
3. Encourage innovative grading practices which are more appropriate on hillsides;
4. Conserve the natural topography in steep slope areas; and
5. Prevent damage to life and property caused by development on unstable landslide areas.

APPLICABILITY

The steep slopes standard shall apply to all areas with a natural slope that is 20% or greater and where the proposed site disturbance is greater than 2,500 square feet.

STANDARDS

1. Disturbance Minimized on Slopes of 20% or Greater. Any grading, tree removal, or other site disturbance of slopes of twenty percent (20%) or greater shall be minimized to the maximum extent practicable.
2. Disturbance Prohibited on Slopes of 30% or Greater. New dwellings, commercial, and industrial structures shall be prohibited on slopes of thirty percent (30%) or greater, except under the following circumstances:
 - a. Grading for a portion of a driveway to access a residential unit, when it can be demonstrated that no other route which avoids the 30% or greater slope is possible and where finished slopes of all cuts and fills shall not exceed three-to-one (3:1), unless the developer can demonstrate that steeper slopes can be stabilized and maintained adequately.
 - b. Utilities and communications facilities are allowed.
 - c. Agriculture is allowed.
 - d. Forestry is allowed.
 - e. Non-motorized recreation is allowed.
3. Landslide Areas. New dwellings, commercial, or industrial structures shall be prohibited on landslide areas mapped by the Wyoming Geological Society Survey.
4. Protection of High Visibility Ridgelines. (see Figure A)

APPLICABILITY

All Steep Slope areas that are visible from major community entryways and corridors as depicted in Figure A.

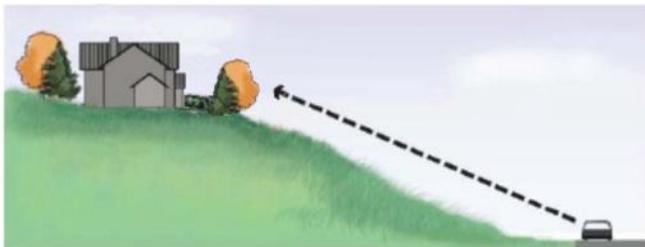
SCREENING STANDARDS

Landscaping shall be installed sufficient to partially screen (along fifty (50) percent of the building face, or that achieves fifty percent (50%) opacity or more along the building face) the building, structure, use, or activity from views from public roads.

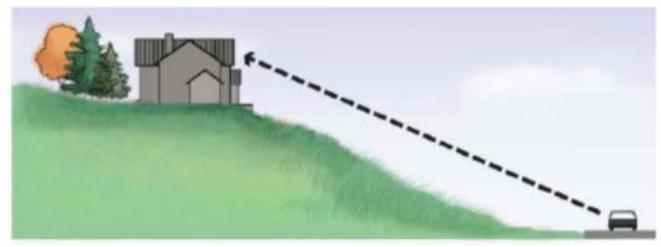
Proposed Amendments to Subdivision Regulations

Appendix B Subdivision Regulations

Definitions. Steep Slope. An area of land where the slope grade is 20% or greater.

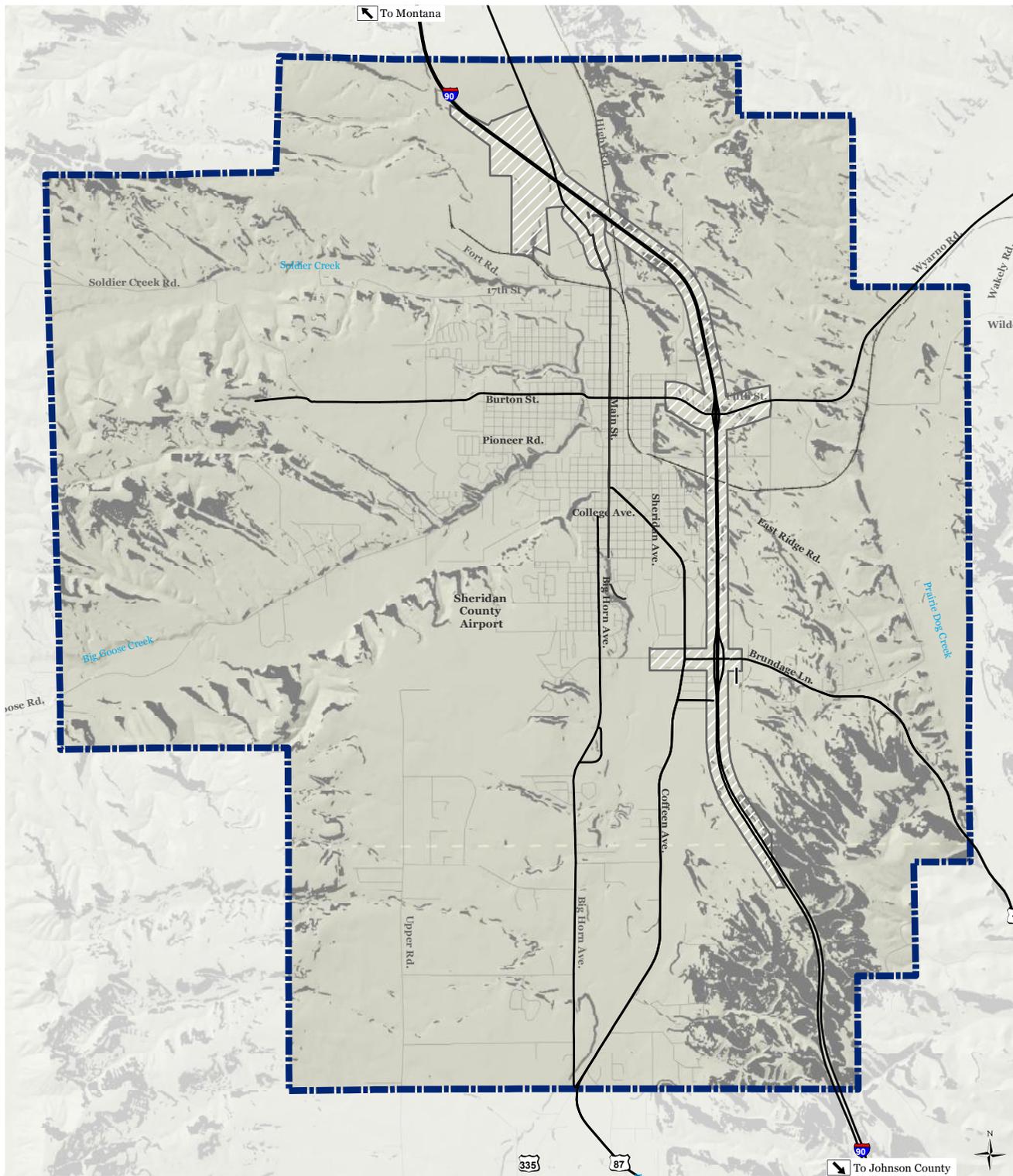


Do This



Not This

HIGH VISIBILITY RIDGELINES



Legend

- | | | |
|------------------------------|----------------------|-----------------------------------|
| City of Sheridan | Featured Data | High Visibility Ridgelines |
| Joint Planning Area Boundary | Entryway | Visible from Entryway |
| Highways | | |
| Streets | | |
| Railroads | | |

Source: City of Sheridan, GIS, Sheridan County GIS, U.S. Census Bureau 2000 TIGER data, WY GIS Clearinghouse April 2009, AECOM 2011

Figure A

STREET AND SITE LIGHTING

OUTDOOR LIGHT SOURCES

SHIELDING

Light sources shall be concealed or shielded to the maximum extent feasible to minimize glare, light pollution and light trespass on adjacent property and away from the vision of passing motorists. All luminaires shall be of the full cut-off type with the eighty-five degree preferred. Full cutoff fixtures shall be installed in a horizontal position as designed. Replacement of existing luminaires shall comply with this article.

UNSHIELDED LIGHTING

Unshielded lighting that emits more than nine hundred lumens but less than or equal to one thousand two hundred lumens is permitted provided that it is activated by a motion sensor and provided it is aimed and located in such a manner as to prevent glare and light trespass.

ARCHITECTURAL LIGHTING OF BUILDING FACADES

The lighting of a building facade for architectural, aesthetic, or decorative purposes is permitted subject to the following restrictions:

1. All upward aimed light shall be fully shielded, fully confined from projecting into the sky by eaves, roofs or overhangs, and mounted as flush to a wall as possible.
2. Building facade lighting exceeding nine hundred lumens shall be fully shielded, aimed downward, and mounted as flush to a wall as possible.
3. Building facade lighting shall be fully contained within the vertical surface of the wall being illuminated.

CANOPY LIGHTING

Lighting fixtures mounted under canopies used for vehicular shelter shall be aimed downward and installed such that the bottom of the light fixture or its lens, whichever is lower, is recessed or mounted flush with the bottom surface of the canopy. A full cutoff light fixture may project below the underside of a canopy. All light emitted by an under-canopy fixture shall be substantially confined to the ground surface directly beneath the perimeter of the canopy. No lighting, except that permitted by the sign ordinance, shall be permitted on the top or sides of a canopy

SIGNS

All exterior signs shall be required to meet the standards for this section. In addition, all exterior signs are also subject to the requirements in the sign code.

OUTDOOR LIGHT LEVELS

Light levels measured twenty feet beyond the property line of the parcel where the light fixture is located shall not exceed one-tenth foot-candle as a direct result of the adjacent property's lighting. This restriction shall only apply if the property upon which the measurement is taken is used for residential purposes or a public right-of-way.

STANDARDS FOR LIGHTS ADJACENT TO RESIDENTIAL ZONING DISTRICTS, RESIDENTIAL USES OR PUBLIC RIGHT-OF-WAY

Any light fixture located within ten feet of a property line, of a residential zoning district, an existing residential use, or within ten feet of a public right-of-way, except as permitted in the exceptions section shall be:

1. Aimed away from the property line, residential zone, residential use, and/or right-of-way; and
2. Shielded on the side closest to the property line, residential zone, residential use, or public right-of-way.

Parking Lot Lights and Trees: Parking lot light fixtures and poles shall be located such that trees located within the parking lot do not obscure the operation of the light fixture.

PROHIBITIONS

No person shall install any of the following types of outdoor lighting fixtures:

1. Mercury vapor lamps;
2. Blinking, flashing, moving, revolving, flickering, changing intensity or color, and chase lighting, except lighting for temporary seasonal displays, lighting for public safety or required for air traffic safety;
3. Any light fixture that may be confused with or construed as a traffic control device;
4. Any upward oriented lighting except as otherwise provided for in this section;

5. Searchlights, beacons, and laser source light fixtures;
6. Exposed linear lamps that include, without limitation, neon, Light Emitting Diode (L.E.D.), and fluorescent lighting, primarily intended as an architectural highlight to attract attention or used as a means of identification or advertisement except as permitted under the Sign Code; and
7. Any lamp or bulb, except for seasonal displays and landscape ornamental lighting, which is visible beyond the property line on which it is located.



Example of poor outdoor lighting sources



Example of required outdoor lighting sources

DESIGN GUIDELINES

Design guidelines are not required, but are encouraged whenever possible.

INDUSTRIAL GUIDELINES

1. Historic structures should be preserved whenever possible. Both structures and views to the structures should be preserved.



2. Structures should be configured in such a way as to protect viewsheds at major gateway areas
3. Building facades should include at least 3 different materials so that no more than 50% of each building face is of one continuous material. Applicant should consider incorporating historic industrial building forms.



4. Building entries should be clearly defined and include human scale elements such as overhangs and distinct materials.
5. Building faces and roof planes should consist of colors included in the color palette shown below:



6. Building materials should consist of the following:
 - a. Pitched Roofs. Composite shingles, concrete shakes, standing seam metal, rolled metal, tile.
 - b. Windows. Glass, transparent, mirrored or tinted. Aluminum, wood or vinyl casings are acceptable.
 - c. Walls. Steel, aluminum, concrete, vinyl or wood siding; concrete block, cultured stone, stone, stucco/EIFS, standing seam metal,

brick, precast concrete.

7. Building entries should be oriented to a primary roadway.



Parking on rear of buildings.

8. Parking lots should be located at the rear or side of buildings.



Parking lot islands



Parking lot screening

9. Service areas should be located on rear or side of building.
10. Parking islands should be provided at the terminus of each parking bay and at a frequency of one island per 20 parking spaces.
11. Parking lots should be screened from adjacent R.O.W. with a minimum of 3' height planting or landforms/berming.
12. Pedestrian paths should be provided adjacent to parking lots to minimize pedestrian/vehicular conflict.

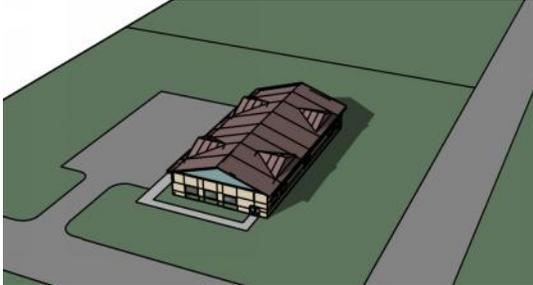


Foundation planting

13. Pedestrian paths should be provided as connections to building entries and R.O.W. sidewalks.
14. Foundation planting should be provided at the edge of building faces fronting R.O.W. at a minimum of 8' in width.
15. Cluster planting should be provided at feature areas such as building entries, site entries, etc.

LIGHT INDUSTRIAL GUIDELINES

1. Historic structures should be preserved whenever possible. Both structures and views to the structures should be preserved.
2. Structures should be configured in such a way as to protect viewsheds at major gateway areas
3. Building entries should be oriented to a primary roadway.

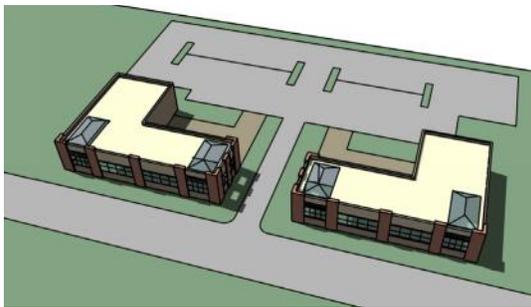


Building oriented to primary roadway. Pedestrian paths adjacent to parking. Parking on side of building.

4. Building entries should be clearly defined and include human scale elements such as overhangs and distinct materials.
5. Building faces and roof planes should consist of colors included in the color palette shown below:



6. Parking lots should be located at the rear or side of buildings.



Parking on rear of buildings.

7. Parking islands should be provided at the terminus of each parking bay and at a frequency of one island per 20 parking spaces.



8. Service areas should be located on rear or side of building.
9. Pedestrian paths should be provided adjacent to parking lots to minimize pedestrian/vehicular conflict.
10. Pedestrian paths should be provided as connections to building entries and R.O.W. sidewalks.
11. Foundation planting should be provided at the edge of building faces fronting R.O.W. at a minimum of 8' in width.
12. Cluster planting should be provided at feature areas such as building entries, site entries, etc.

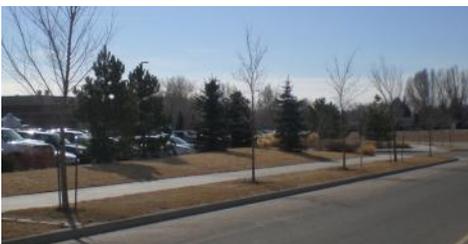
COMMERCIAL GUIDELINES



1. Historic structures should be preserved whenever possible. Both structures and views to the structures should be preserved.
2. Structures within highway commercial areas should transition from higher building heights at highway corridors, to lower building heights adjacent to residential areas.
3. Structures should be configured in such a way as to protect viewsheds at major gateway areas.
4. Building faces and roof planes should consist of colors included in the color palette shown below:



5. Parking lots should be located at the rear or side of buildings.
6. Parking islands should be provided at the terminus of each parking bay and at a frequency of one island per 20 parking spaces.
7. Pedestrian paths should be provided adjacent to parking lots to minimize pedestrian/vehicular conflict.
8. Cluster planting should be provided at feature areas such as building entries, site entries, etc.



MULTI-FAMILY GUIDELINES

1. Historic structures should be preserved whenever possible. Both structures and views to the structures should be preserved.
2. Structures within highway areas should transition from higher building heights at highway corridors, to lower building heights

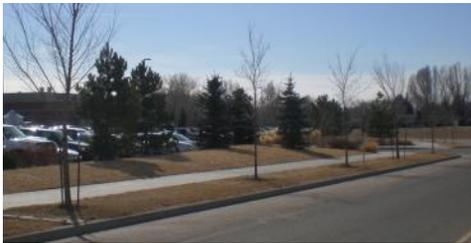


adjacent to residential areas.

3. Building heights should be consistent with context.
4. Building facades should include at least 3 different materials so that no more than 50% of each building face is of one continuous material.
5. Building entries should be clearly defined and include human scale elements such as overhangs and distinct materials.
6. Building faces should consist of colors included in the color palette shown below:



7. Building materials should consist of the following:
 - a. Pitched Roofs. Composite shingles, concrete shakes, standing seam metal, rolled metal, tile.
 - b. Windows. Glass, transparent, mirrored or tinted. Aluminum, wood or vinyl casings are acceptable.
 - c. Walls. Steel, aluminum, concrete, vinyl or wood siding; concrete block, cultured stone, stone, stucco/EIFS, standing seam metal, brick, precast concrete. Buildings oriented to primary roadway.
8. Cluster planting should be provided at feature areas such as building entries, site entries, etc.



9. Parking lots should be located at the rear or side of buildings.